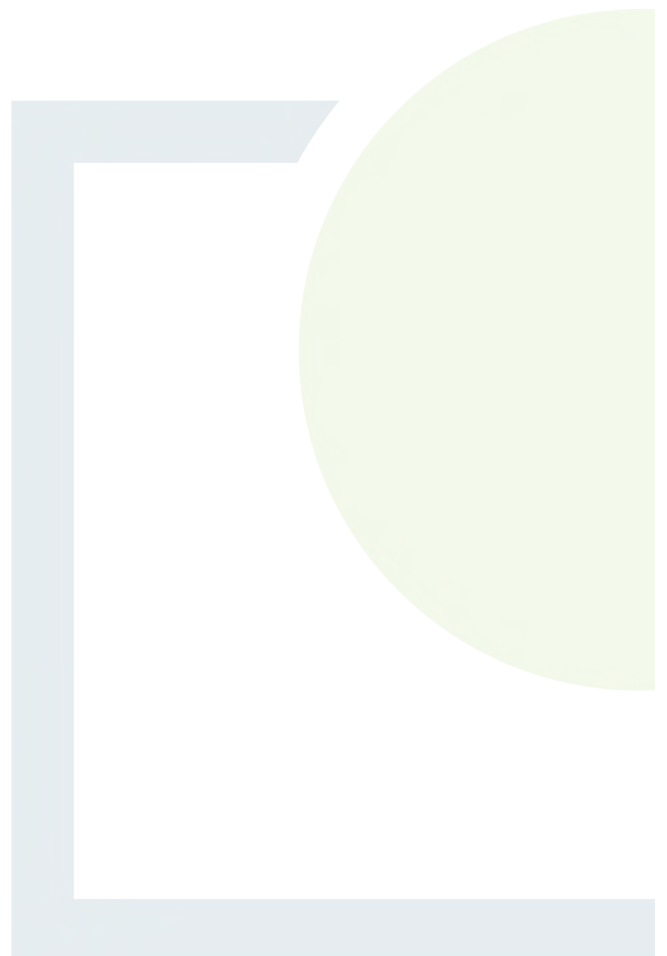




DESIGNING AND DELIVERING
A SUSTAINABLE FUTURE

Appendix 6.1

Stakeholder Consultation
Letter



Cork City Council Planning
Cork City Council, City Hall,
Anglesea Street, Cork, T12 T997



niall_odonnabhain@corkcity.ie
planning@corkcity.ie

Our Ref: P23268-FT-EGN-XX-LT-EN-0002

24 April 2025

Re: Proposed Development of a Healthcare Waste Treatment and Transfer Station Facility at an existing built industrial/warehouse unit located at Block 8003, Blarney Business Park, Blarney, County Cork

Dear Niall,

SRCL Ireland Ltd (Stericycle) intends to apply to for planning permission to install a Healthcare Waste Treatment and Transfer Station at an existing built industrial/warehouse unit situated at Block 8003, Blarney Business Park, Blarney, County Cork. This planning application will likely be a Strategic Infrastructure Development application to An Bord Pleanála. Stericycle have appointed Fehily Timoney and Company (FT) to prepare an Environmental Impact Assessment Report (EIAR) for the proposed development.

Introduction to Stericycle

Stericycle provides essential healthcare waste management solutions in Ireland and internationally and are a Subsidiary of WM Inc. WM are a publicly traded US-headquartered market leader in waste management. Stericycle have a strong track record supporting the public and private sector in providing sustainable, resilient healthcare waste management services.

Stericycle holds a national contract with the Health Services Executive (HSE) to manage all the healthcare waste generated by HSE providers across the country and has successfully provided these services from two sites in the Dublin area for over twenty years.

The Proposed Development Site and the Surrounding Area

The proposed development site is located at Blarney Business Park, ca. 4 km north-west of Cork City and ca. 500 m east of the town of Blarney (at its nearest point).

Blarney Business Park is an established business park characterised by commercial, light-industrial and industrial land use. Construction of the Business Park commenced in the mid-2000's. In 2018, Blarney Business Park was acquired by the developer JCD and it has been developed significantly since then.

The proposed development site is ca. 1.31 hectares and is located at the centre of the business park. The site and business park can be accessed directly from the N20 Cork to Limerick Road, which runs to the immediate west of the site.

Dublin: Unit 3/4,
Northwood House,
Northwood Crescent,
Northwood, Dublin,
D09 X899, Ireland

T: +353 1 658 3500
E: info@ftco.ie

www.fehilytimoney.ie

Directors: Sinéad Timoney | Bernadette Guinan | Jim Hughes | Ray O'Dwyer
Company Secretary: Dave O'Regan

Registered in Ireland, Fehily Timoney & Company Ltd. Number 180497
Registered Office: Core House, Pouladuff Road, Cork, Ireland.
VAT Registration Number: IE6580497D





The Cork to Dublin railway line runs directly north of the business park. The Shean Upper Stream is situated ca. 100 m west of the site. This drains in a southerly direction into the Blarney River which is situated ca. 1 km to the south of the site. The nearest sensitive human receptors to the site are residential dwellings situated at Aisling Geal residential estate, which forms part of the town of Blarney, ca. 500 m to the north-west of site. The Clogheenmilcon Sanctuary Walk is situated ca. 740 m to the south of the proposed development site.

A Site Location and Context Map showing the site location and surrounding area is presented in Figure 1.

The Proposed Development

The proposed development will comprise the installation of a Healthcare Waste Treatment and Transfer Facility at an existing vacant industrial/warehouse unit at the proposed development site. This facility will accept up to 20,000 tonnes of healthcare waste per annum for management.

The construction works associated with the proposed development will primarily involve internal installation work for the treatment plant, associated ancillary equipment and office fit out. External modifications will be limited to installation of additional security fencing and gated security access, installation of an air emission stack, and modifications to increase the size of roller shutter doors.

Three principal processes would be undertaken at the proposed facility:

- Reception and disinfection (using steam treatment) of healthcare waste;
- automated management of reusable sharps containers; and
- bulking and transportation of waste off-site (transfer).

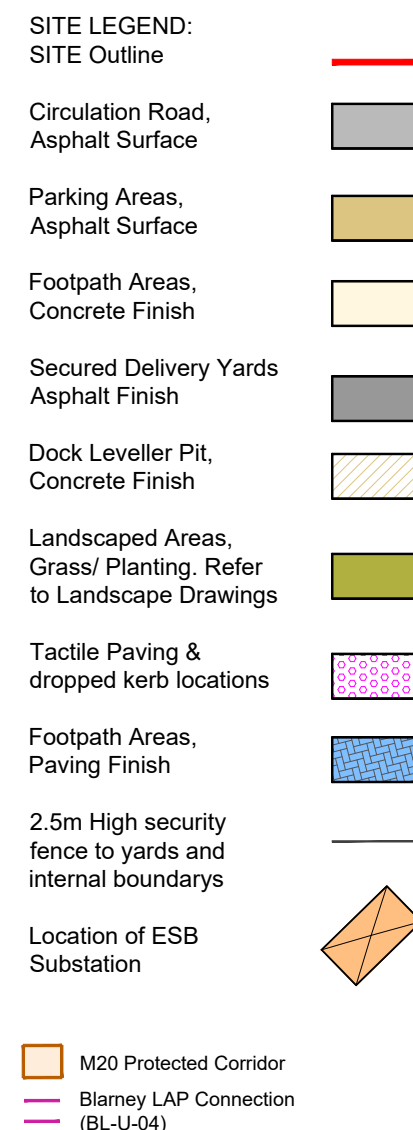
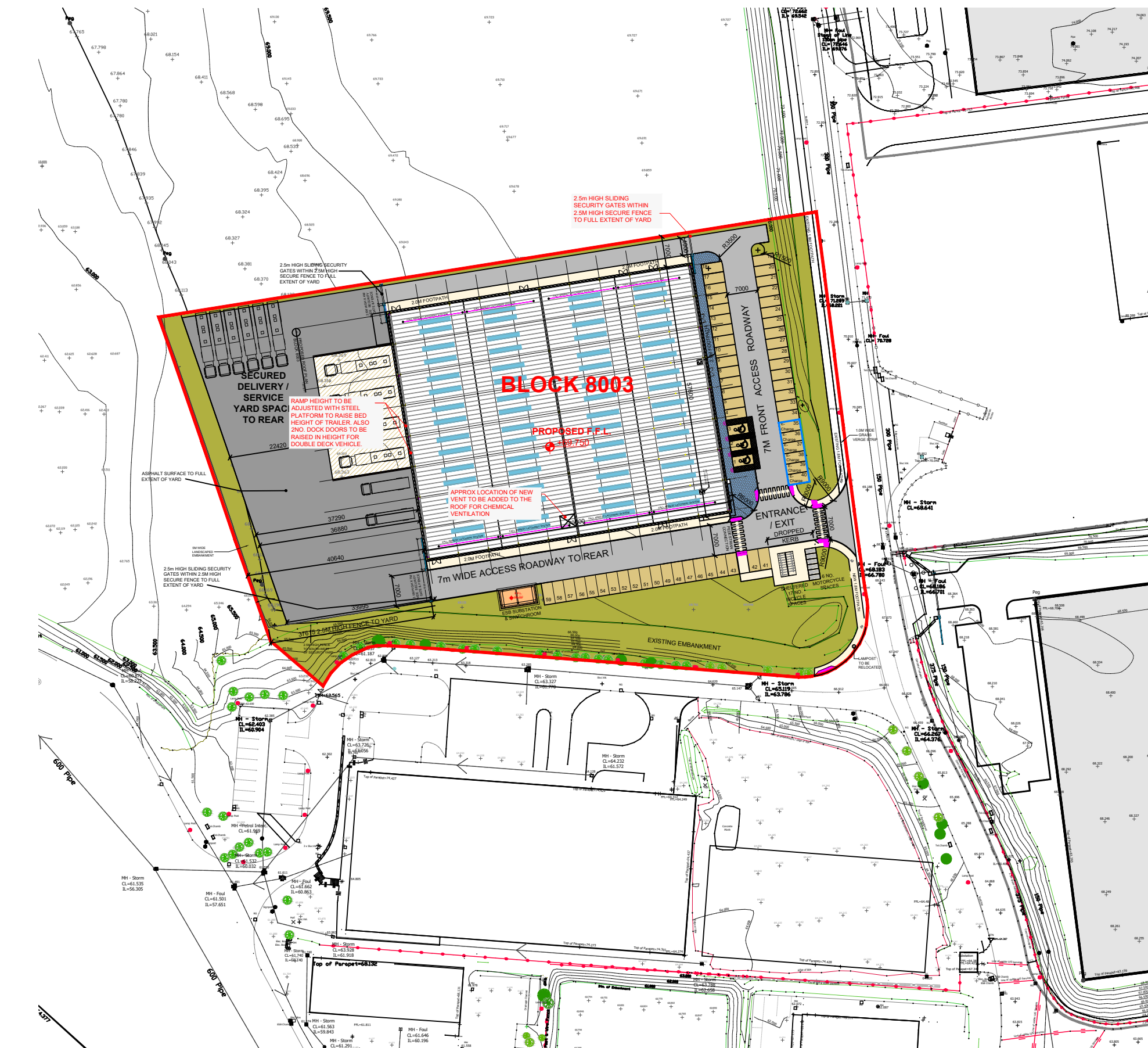
Treated healthcare waste will be subject to a materials recovery process which will result in the recovery of all recoverable healthcare waste components insofar as practicable. Waste outputs from the facility will then be transferred off-site for recovery/recycling or disposal, as the case may, at third-party waste management facilities.

The proposed development will provide healthcare waste management capacity in the south-west of Ireland.

Some photos showing a similar facility operated by Stericycle in the UK are presented below.



A Proposed Site Layout Plan and Proposed Ground Floor Plan for the proposed development are presented in Figure 2 and Figure 3 respectively.



OUTLINE OF PROPOSED SITE
Overall Site Area - 13170m²
1.31 HA/ 3.25 Acres



We protect what matters.

BLOCK 8003
OVERALL PARKING FIGURES
Max 1 space / 50m2

60 No. Car Parking Spaces :
of which;
3 no. Accessible bays
6 no. Bays with E.V. provision

6 no. Motorcycle bays
17 no. Bicycle Spaces

PLANNING
DO NOT USE FOR CONSTRUCTION

This Drawing and Design shown are the exclusive copyright of Coughlan DeKeyser Architects and are not to be used or reproduced in whole or in part without the written consent of Coughlan DeKeyser Architects.

SETTING OUT:
Contractor is responsible for checking of all dimensions, etc, before commencement and bringing any discrepancies in same to the Architect's attention.

COMPLIANCE WITH BUILDING REGULATIONS:
All materials and workmanship to conform in full with
Building Regulations 2001, contractor to make himself
familiar with the Building Regulations before
commencement of work.

CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE

[illegible]

north point house
north point business park
mallow road
cork
ireland

T - (021) 4309299
T - (021) 4309306
F - (021) 4309247
info@cda-architects.ie
www.cda-architects.ie

Job title:
BLARNEY BUSINESS PARK, CORK
BLOCK 8003

Client:
STERICYCLE IRELAND

Drawing title:
EXISTING SITE LAYOUT
BLOCK 8003

Drawing type:	PLANNING
---------------	----------

Scale: Scale 1:500 @ A1	Job No.: 2896	
Date: JAN 2025	Drq No.: 2896-C-XXX	Rev.: 00



CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE

[illegible]

T - (021) 4309299
T - (021) 4309306
F - (021) 4309247
info@cda-architects.ie
www.cda-architects.ie

Drawing type:	PLANNING
---------------	----------

Job No.	2896
---------	------

	Drg No.: 2896-P-XXX
--	------------------------

Rev.	00
------	----

1:200 @ A1

Compliance with Planning Policy

Blarney Business Park is zoned for 'light industry' with the objective to 'provide for and protect dynamic light industry and manufacturing employment areas'.

The proposed facility is compatible with this zoning objective for the following reasons:

- It is moderately scaled;
- the waste handled is fully containerised and will be handled, processed and stored within the building;
- all operations will be contained and controlled, and will not give rise to significant emissions to air, water or of odour, noise or dust;
- no significant adverse impacts on any surrounding receptors are predicted;
- facilities of the same type in Dublin are located in similarly zoned areas; and
- there is no 'heavy industrial' or other more appropriate zoning within Cork City.

Stericycle aim to clearly and definitively demonstrate that the proposed development is compatible with the zoning objective for the site in the prospective planning application.

EPA Licensing of the Proposed Facility

Stericycle will also apply to the Environmental Protection Agency for an Industrial Emission (IE) license to allow them to accept and process healthcare waste at this facility. Best Available Techniques (BAT) will be used to control operations on-site and prevent the release of emissions of significance to the environment.

EIA Scoping and Purpose of this Letter

This letter is being issued to you as part of the scoping process for the EIA. An EIAR will accompany the planning application which will be made with respect to this proposed development and will address potential environmental aspects and impacts associated with the proposed development. Environmental mitigation measures will be defined for the proposed development under the EIAR, wherever necessary.

As part of the consultation process, we would be interested in receiving any comments you may have on the proposed development, relevant to your area of expertise, within four weeks of the date of this letter -May 22nd 2025. We would appreciate input or insight from you on the following:

- Key environmental issues that should be addressed within the EIAR.
- Baseline environment sensitivity that should be considered under the EIAR.
- Impact assessment methodologies to be employed to fully assess potential environmental impacts associated with the proposed development.

If you have no comments to make, we would be grateful if you would please acknowledge receipt of this letter.

Comments or acknowledgements can be sent via email to stericycleblarney@ftco.ie.



Yours sincerely,

A handwritten signature in dark ink that reads "Richard Deeney".

Richard Deeney
for and on behalf of **Fehily Timoney and Company**



**DESIGNING AND DELIVERING
A SUSTAINABLE FUTURE**

www.fehilytimoney.ie

 **Cork**

 **Dublin**

 **Carlow**

